

Department of Planning and Zoning

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Burlington, VT 05401

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MEMORANDUM

To: Development Review Board

From: Mary O'Neil, AICP, Senior Planner

Date: October 1, 2013

RE: ZP 13-0768CA; 107 Ledge Road

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP 13-0768CA

Location: 107 Ledge Road

Zone: RL **Ward:** 6

Date application accepted: July 3, 2013

Applicant/ Owner: Rick Levinson

Request: Amend previously approved permit (approved April 15, 2013) including smaller massing of addition and garage, window changes.



Background:

- **Zoning Permit 13-0760CA**; Addition at rear of existing house, construct attached garage with living space above, increased driveway and parking area at rear, associated site and landscaping changes. Approved April 15, 2013.
- **Zoning Permit 86-300**; Change an existing 8' x 5' double hung window to a bow window on the north elevation (front of home.) Approved July 1986.

Overview: The applicants wish to revise their previously approved plans; reducing the mass of the rear addition. Review by the DRB is required as the applicants' also wish to alter Condition #14 imposed by the DRB: *The windows on the sunroom shall be increased to fill the wall section going corner to corner, (similar to the original sunroom) on the north (front) and west elevations, as they are the most visible.*

Recommendation: **Approval** of the reduced massing, roofline changes and associated siding, porch and entry alterations. **Denial of the request to alter Condition #14**; per the following findings and conditions:

I. Findings

Article 4: Zoning Maps and Districts

Sec. 4.4.5 Residential Districts

(b) Dimensional Standards and Density

Table 4.4.5-3 Residential District Dimensional Standards

The previous permit approved an increase in coverage to 33.86%. It does not appear that the modifications proposed affect that approved footprint or level of coverage. The applicant provides that the gross new floor area will be 6,047 (less 154 sf from original approval of 6,201 sf.) If building footprint/coverage changes are proposed, a revised site plan and coverage calculation will be required.

Affirmative finding as conditioned.

Article 5: Citywide General Regulations

Article 5: Citywide General Regulations

Sec. 5.1.1 Uses

(c) Permitted Uses

No change proposed to the existing single family residential use. Not applicable.

Part 2: Dimensional Requirements

See Section 4.4.5, Table 4.4.5-3, above. **Affirmative finding.**

Sec. 5.2.3. Lot Coverage Requirements

See Section 4.4.5, Table 4.4.5-3, above. **Affirmative finding.**

Sec. 5.2.4. Buildable Area Calculation

For any properties two or more acres in size within any RCO, WRM, RM, WRL, or RL zoning district...

107 Ledge Road is not more than two acres in size. This standard does not apply.

Sec. 5.2.5. Setbacks

See Section 4.4.5, Table 4.4.5-3, above. **Affirmative finding.**

Sec. 5.2.5 (b) Exceptions to Yard Setback Requirements

2. Building and Site Features. (Eaves)

4. Accessory Structure and Parking Areas (Rear parking area)

The conical roofed structure on the west has been removed from the plan. The applicant is reminded that only the roof eave may encroach into the required side yard setback.

No other changes to the approved site plan have been identified. **Affirmative finding.**

Sec. 5.2.6, Building Height Limits.

The submitted plans define a roof that is less than the height of the existing building.

Affirmative finding.

Sec. 5.2.7, Density and Intensity of Development Calculations

(a) Dwelling units per acre.

No change is proposed to the existing single family residential use. Any change, or increase in the number of units, will require a zoning permit.

Affirmative finding as conditioned.

Part 4: Special Use Regulations

Sec. 5.4.5 Accessory Dwelling Units

No change in use is included within this application. The property is a single family residence. If any additional units or an accessory dwelling unit is proposed, either will require zoning review and approval via a separate permit.

Affirmative finding as conditioned.

Sec. 5.4.8 Historic Buildings and Sites

(a) Applicability:

These regulations shall apply to all buildings and sites in the city that are listed, or eligible for listing, on the State or National Register of Historic Places.

As such, a building or site may be found to be eligible for listing on the state or national register of historic places and subject to the provisions of this section if all of the following conditions are present:

1. The building is 50 years old or older;

107 Ledge Road was constructed c. 1921; therefore greater than 50 years ago.

2. The building or site is deemed to possess significance in illustrating or interpreting the heritage of the City, state or nation in history, architecture, archeology, technology and culture because one or more of the following conditions is present:

A. Association with events that have made a significant contribution to the broad patterns of history;
or,

B. Association with the lives of persons significant in the past; or,

- C. Embodiment of distinctive characteristics of a type, period, or method of construction, or representation of the work of a master, or possession of high artistic values, or representation of a significant or distinguishable entity whose components may lack individual distinction; or,
- D. Maintenance of an exceptionally high degree of integrity, original site orientation and virtually all character defining elements intact; or,
- E. Yielding, or may be likely to yield, information important to prehistory; and,
- 3. The building or site possess a high degree of integrity of location, design, setting, materials, workmanship, feeling, and association

107 Ledge Road was included within a Historic Sites and Structures Survey in 2005 of Prospect Park North and Middle. Significance has been attributed to architectural qualities, and the historic context of automobile suburbs and physical patterns of communities. The survey information was included in the 13-0760 project review. That information has deemed the property eligible for historic designation, and therefore the following standards apply:

(b) Standards and Guidelines:

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The property is proposed to remain a residential home. This application diminishes the size of the proposed addition, approved in April of 2013. The addition continues to be proposed, albeit smaller, behind the existing structure.

Affirmative finding.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

From the original staff report: The enclosed porch on the west elevation had originally been proposed to lose its wall of full windows (a typical sun-room addition from the early 20th century, and popularized in widespread catalogs and plans. See enclosed material) for an enclosure that looks more modern and closed-up. The open-ness of that original design should be replicated, at least along the streetfront. The DAB has supported the retention of sunroom-style windows on visible elevation; mainly the north and west.

DRB approval included condition #14: *The windows on the sunroom shall be increased to fill the wall section going corner to corner (similar to the original sunroom) on the north (front) and west elevations, as they are the most visible.* In placing this condition, the DRB recognized the significant character provided by the original sunroom window arrangement, and inserted a provision to retain that particular feature of the structure. The applicant now wishes to have that condition re-considered, with insertion of modern double hung windows on the north (front), and smaller square windows on the west. This suggestion negates the importance of the sunroom feature and ignores the sunroom addition as being a significant and architecturally compatible addition to the Colonial Revival home. The original condition, requiring installation of full-wall fenestration on the north and the west, will retain that historic feature, and is recommended for retention. **Adverse finding** for revised windows arrangement. **Affirmative finding** if Condition #14 upheld.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

No change from previous findings.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The sunroom/side porch is likely an early addition to the home, reflects a common addition to the period home, and therefore should be visually respected and replicated relative to window replacement. Full sun-room style windows should be the choice, and Condition #14 upheld.

Affirmative finding as conditioned.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

No change from previous findings.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

No change from previous findings.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No change from previous findings.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

None identified. Not applicable.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

Additions to historic buildings may be considered if they are subordinate to the original structure, and differentiated from the old. The addition is situated in the rear of the lot (thus visually subordinate) has been substantially increased from the originally proposed and approved plan.

The sunroom windows should be retained or replicated to retain the character of the early 20th century addition.

Adverse finding for proposed sunroom windows. **Affirmative finding** if Condition #14 upheld.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

While unlikely, it may be possible to consider removal of the rear addition, leaving the historic home intact. **Affirmative finding.**

Sec. 5.5.3 Stormwater and Erosion Control

As previously conditioned, approval of these by the City Stormwater Engineer will be a condition of any approval. **Affirmative finding as conditioned.**

Sec. 5.5.4 Tree Removal

The applicant has identified landscaping changes, and offered a tree protection plan as part of prior-to-release conditions. **Affirmative finding as conditioned.**

Article 6: Development Review Standards

Part 1: Land Division Design Standards

Not applicable.

Part 2: Site Plan Design Standards

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

No changes to previous findings. Those conditions remain in effect.

Affirmative finding as conditioned.

(b) Topographical Alterations:

None are proposed. **Affirmative finding.**

(c) Protection of Important Public Views:

While the Ledge Road streetscape offers distinctive views to the west, there are no protected public views from the project site. Not applicable.

(d) Protection of Important Cultural Resources:

107 Ledge Road was identified in the 2005 Vermont Historic Sites and Structures Survey as eligible for historic designation. See Section 5.4.8, above.

(e) Supporting the Use of Renewable Energy Resources:

No change from previous findings. **Affirmative finding.**

(f) Brownfield Sites:

Not applicable.

(g) Provide for nature's events:

No change from previous findings.

Affirmative finding.

(h) Building Location and Orientation:

The new addition, as revised, remains attached to the rear (south) of the existing structure.

Affirmative finding.

(i) Vehicular Access:

The originally proposed circular driveway has been eliminated from the plan. There is now no change to the existing vehicular access. Not applicable.

(j) Pedestrian Access:

No change to previously approved pedestrian access plan. **Affirmative finding as conditioned.**

(k) Accessibility for the Handicapped:

Although encouraged, this is not a requirement for an existing single family home. **Not applicable.**

(l) Parking and Circulation:

No change to previously approved plan. **Affirmative finding.**

(m) Landscaping and Fences:

No change proposed to previously approved plan.

Affirmative finding as conditioned.

(n) Public Plazas and Open Space:

There are no public plazas or identified open space areas.

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

See Section 5.5.2.

(p) Integrate infrastructure into the design:

Exterior storage areas, machinery and equipment installations, service and loading areas, utility meters and structures, mailboxes, and similar accessory structures shall utilize setbacks, plantings, enclosures and other mitigation or screening methods to minimize their auditory and visual impact on the public street and neighboring properties to the extent practicable.

The revised plans continue to omit the location of meters, mailboxes, and any other utilities or HVAC equipment. All will need to be illustrated on elevations and/or site plans, as appropriate. **Affirmative finding as conditioned.**

Part 3: Architectural Design Standards

Sec. 6.3.2 Review Standards

(a) Relate development to its environment:

1. Massing, Height and Scale:

This amendment proposes to reduce the massing of the rear addition.

As much of the construction is behind the existing house, the perceived building height at the street level and increased massing will be obscured from easy review.

Affirmative finding.

2. Roofs and Rooflines.

No substantive changes from original findings. **Affirmative finding.**

3. Building Openings

Although the revised plans detail re-arrangement of windows and doors in the new addition, no concern is raised. The newly recessed side entryway appears to change the building footprint, which will require a revision to the previously approved site plan and coverage calculation.

The original sunroom windows, however, are identified as being a character defining feature of this early 20th century home. The DAB and staff concur that these large window openings should be retained, at least on observable elevations. Condition #14, with windows that go from corner to corner, is recommended for retention. **Adverse finding** for revised sunroom windows. **Affirmative finding if Condition #14 upheld.**

(b) Protection of Important Architectural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. See Section 5.4.8, above.

(c) Protection of Important Public Views:

The proposed development will not interfere with public street views to the west. There are no publically protected vistas directly from this site. Not applicable.

(d) Provide an active and inviting street edge:

No change from previous findings. **Affirmative finding.**

(e) Quality of materials:

No change from previous findings. **Affirmative finding.**

(f) Reduce energy utilization:

New structures should incorporate the best available technologies and materials in order to maximize energy efficient design. All new construction shall meet the Guidelines for Energy Efficient Construction pursuant to the requirements of Article VI. Energy Conservation, Section 8 of the City of Burlington Code of Ordinances.

New structures should take advantage of solar access where available, and shall undertake efforts to reduce the impacts of shadows cast on adjacent buildings where practicable, in order to provide opportunities for the use of active and passive solar utilization.

No part of this application prevents the use of water, wind, solar, geo-thermal or other alternative energy system. With expansive southerly exposure, the use of solar is encouraged.

Affirmative finding.

(g) Make advertising features complementary to the site:

Not applicable.

(h) Integrate infrastructure into the building design:

See Sec. 6.2.2. (p.)

(i) Make spaces secure and safe:

All development will be required to meet applicable building and life safety code as defined by Burlington's building inspector and the fire marshal. **Affirmative finding as conditioned.**

Article 7: Signs

No signage is specifically proposed. Not applicable.

Article 8: Parking

No change from previous findings. **Affirmative finding.**

Sec. 8.1.9 Maximum Parking Spaces

No change from previous findings, if parking configuration remains unchanged. **Affirmative finding.**

Sec. 8.2.5 Bicycle Parking Requirements

There are no requirements relative to bicycle parking for single family use in Table 8.2.5-1. Not applicable.

II. Recommended Conditions of Approval:

1. It has been assumed that no footprint changes occur with these alterations. If the building footprint changes and/or there is a change of coverage, a revised site plan and coverage calculation will be required **prior to release of the zoning permit.**
2. Condition #14 of the original approval shall be upheld: The large windows of the enclosed sun room shall be retained or replicated as an existing feature of the building, at the very least on the primary façade and westerly elevation (most visible.)
3. The location of meters, mailboxes, and any other utilities or HVAC equipment will need to be illustrated on elevations and/or site plans, as appropriate, **prior to release of the zoning permit.**
4. All conditions previously included as part of ZP 13-0768CA shall remain in effect, unless herein altered.
5. Standard Permit Conditions 1-15.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.

Revised plan
changes highlighted

RECEIVED

JUL 03 2013

DEPARTMENT OF
PLANNING & ZONING



NORTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE				
MARK	QUANTITY	DESCRIPTION	SIZE	HARDWARE
①	1	EXTERIOR-MARVIN SLIDING PATIO (CSPD5068)	5'-1 5/8" x 6'-10 1/2"	ENTRY LOCKSET
②	1	EXTERIOR WOOD DOOR (PANELS & GLASS AS SHOWN)	3'-0" x 6'-8"	ENTRY LOCKSET
③	2	EXTERIOR-WOOD WITH HALF GLASS	3'-0" x 6'-8"	ENTRY LOCKSET
④	2	EXTERIOR-INSULATED FIBERGLASS WITH HALF GLASS	3'-0" x 6'-8"	ENTRY LOCKSET
⑤	2	CUSTOM OVERHEAD GARAGE DOOR	8'-0" x 8'-0"	---
NOTES: 1. STANDARD ROUGH OPENING FOR ALL DOORS IS 2" WIDER THAN UNIT SIZE & 2 1/2" HIGHER THAN UNIT SIZE UNLESS NOTED OTHERWISE. 2. ABOVE DOORS ARE TO HAVE INSULATED LOW E ARGON FILLED GLASS.				

WINDOW SCHEDULE				
MARK	QUANTITY	PRODUCT NUMBER	DESCRIPTION	ROUGH OPENING
A	2	CUCAVP4854	MARVIN CLAD ULTIMATE DOUBLE HUNG	4'-1" x 4'-5 5/8"
B	17	CUDH2420	MARVIN CLAD ULTIMATE DOUBLE HUNG	2'-6 3/8" x 4'-0 7/8"
C	10	CUAWN2828	MARVIN CLAD ULTIMATE AWNING	2'-5" x 2'-3 5/8"
D	1	CUDH2016	MARVIN CLAD ULTIMATE DOUBLE HUNG	2'-2 3/8" x 3'-4 7/8"
E	8	CUDH3026	MARVIN CLAD ULTIMATE DOUBLE HUNG	3'-0 3/8" x 5'-0 7/8"
F	1	(3) CUDH2420	MARVIN CLAD ULTIMATE DOUBLE HUNG (MULLED)	7'-5 1/8" x 4'-0 7/8"
G	1	(2) CUDH2420	MARVIN CLAD ULTIMATE DOUBLE HUNG (MULLED)	4'-11 3/4" x 4'-0 7/8"
H	1	CDRT27	CLAD DIRECT GLAZE ROUND TOP	1'-9" x 1'-9"
I	1	CUDH24XX	MARVIN CLAD ULTIMATE DOUBLE HUNG	VARIES, SEE NOTE 1.
J	5	CUDHXXXX	MARVIN CLAD ULTIMATE DOUBLE HUNG	VARIES, SEE NOTE 1.
K	2	CUCAXXXX	MARVIN CLAD ULTIMATE CASEMENT	SEE NOTE 1.
L	4	CUDH1622	MARVIN CLAD ULTIMATE DOUBLE HUNG	1'-10 3/8" x 4'-4 7/8"
M	2	CUDH1620	MARVIN CLAD ULTIMATE DOUBLE HUNG	1'-10 3/8" x 4'-0 7/8"
NOTES: 1. CONTRACTOR TO FIELD MEASURE EXISTING ROUGH OPENINGS TO DETERMINE BEST FIT WINDOW SIZE. 2. ALL WINDOWS TO HAVE AUTHENTIC DIVIDED LIGHT (ADL) MUNTIN BARS. 3. ALL WINDOWS TO HAVE ALUMINUM CLAD EXTERIOR. 4. WINDOWS TO HAVE UNFINISHED PINE INTERIOR, PRIME AND PAINT. 5. ABOVE WINDOWS ARE TO HAVE INSULATED LOW E ARGON FILLED GLASS. 6. PROVIDE BLACK INSECT SCREEN WITH ALUMINUM FRAME FOR ALL NEW WINDOWS EXCEPT FIXED WINDOWS, COLOR TO BE DETERMINED.				

JOB DESCRIPTION

LEVISON
RESIDENCE

BURLINGTON
VERMONT

SHEET DESCRIPTION

PROPOSED
ELEVATIONS

SHEET NUMBER

A2.1

Architectural elevation drawing of a two-story house. The drawing includes the following annotations and features:

- EXISTING SLATE ROOF TO REMAIN**: Points to the roofline.
- STANDING SEAM METAL ROOF COLOR TO BE DETERMINED**: Points to the roofline on the left side.
- EAVE & SOFFIT TO MATCH EXISTING**: Points to the eave and soffit area.
- CEDAR SHINGLE SIDING TYP.**: Points to the siding on the left side.
- LAUNDRY F.F.E. = 109'-10 3/4"**: Horizontal line indicating the laundry floor level.
- 2ND FLOOR F.F.E. = 109'-0 3/4"**: Horizontal line indicating the second floor level.
- RECESSED LIGHTING IN PORCH CEILING LAYOUT TO BE DETERMINED**: Points to the porch area.
- 1ST FLOOR F.F.E. = 100'-0"**: Horizontal line indicating the first floor level.
- REPLACE ALL EXISTING WINDOWS TYP.**: Points to the windows.
- REPLACE EXISTING SIDING & EXTERIOR TRIM**: Points to the siding and trim.
- PROPOSED ROOF DECK W/ RAIL SYSTEM**: Points to the roof deck area.
- 36" HIGH**: Vertical dimension for the roof deck railing.
- Handwritten note**: "See condition #14" with a large 'X' over the right side of the drawing.

$$\underline{1/4'' = 1'-0''}$$


$$1/4'' = 1'-0''$$

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C	11	CUAWN2828	MARVIN CLAD ULTIMATE AWNING	2'-5" x 2'-3 5/8"
D	1	CUDH2016	MARVIN CLAD ULTIMATE DOUBLE HUNG	2'-2 3/8" x 3'-4 7/8"
E	10	CUDH3026	MARVIN CLAD ULTIMATE DOUBLE HUNG	3'-0 3/8" x 5'-0 7/8"
F	3	CUDH2416	MARVIN CLAD ULTIMATE DOUBLE HUNG	2'-6 3/8" x 3'-4 7/8"
G	2	CORT27	CLAD DIRECT GLAZE ROUND TOP	3'-0" x 3'-0"
H	2	CUDH28XX	MARVIN CLAD ULTIMATE DOUBLE HUNG	SEE NOTE 1.
I	1	CUDH24XX	MARVIN CLAD ULTIMATE DOUBLE HUNG	VARIES, SEE NOTE 1.
J	7	CUDHXXXX	MARVIN CLAD ULTIMATE DOUBLE HUNG	VARIES, SEE NOTE 1.
K	2	CUCAXXXX	MARVIN CLAD ULTIMATE CASEMENT	SEE NOTE 1.
L	4	CUDH1622	MARVIN CLAD ULTIMATE DOUBLE HUNG	1'-10 3/8" x 4'-4 7/8"
M	8	CUDH1626	MARVIN CLAD ULTIMATE DOUBLE HUNG	1'-10 3/8" x 5'-0 7/8"
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6. PROVIDE BLACK INSECT SCREEN WITH ALUMINUM FRAME FOR ALL NEW WINDOWS EXCEPT FIXED WINDOWS, COLOR TO BE DETERMINED.

ANY MODIFICATIONS OR DEVIATIONS FROM THESE PLANS
REQUIRE ZONING APPROVAL PRIOR TO CONSTRUCTION.
ALL ERRORS IN DIMENSIONS, PLANS OR DETAILING ARE
FULLY THE RESPONSIBILITY OF THE APPLICANT/OWNER.

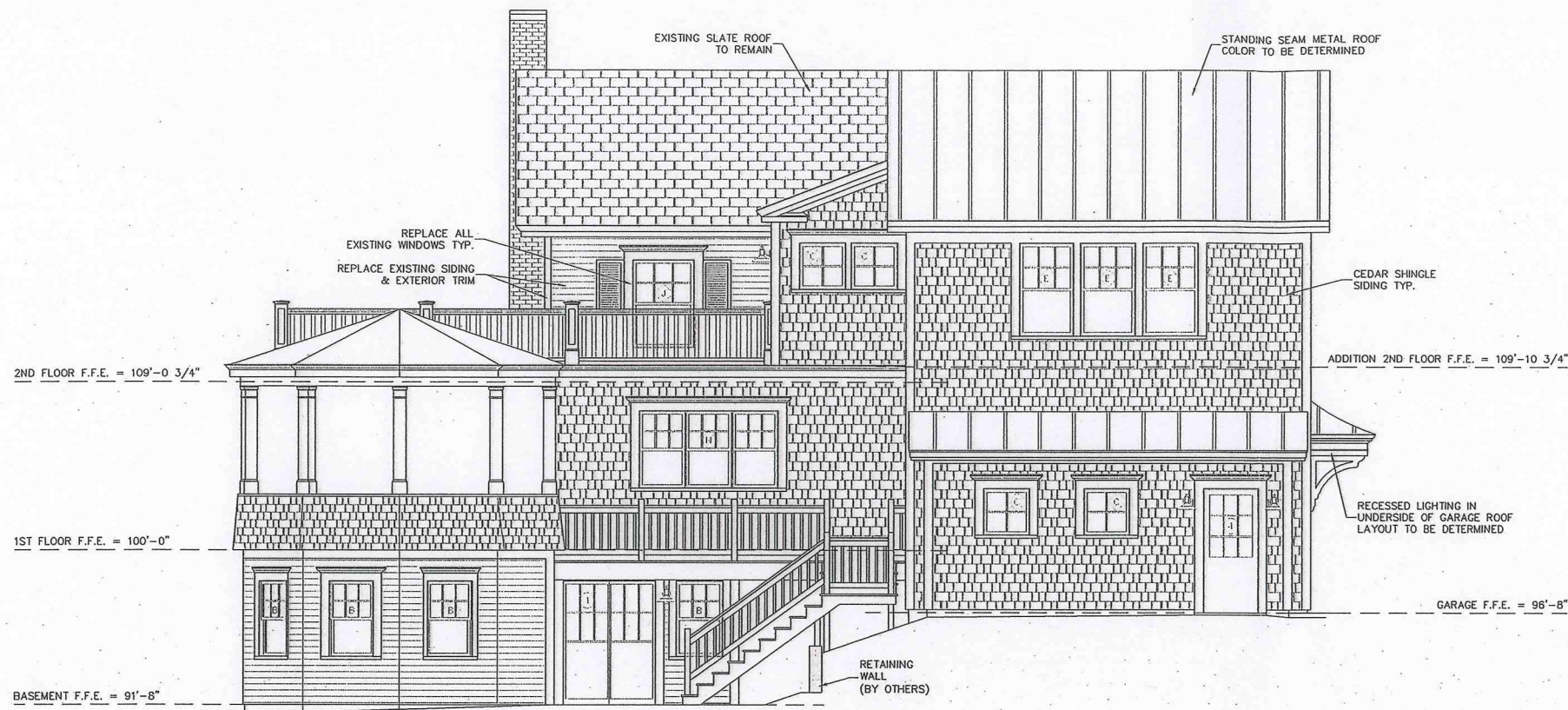
FINAL APPROVAL
SIGNED _____ DATE 4/15/13

PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

2P13-0768CA

REVISION		
	REVISED BAY, SUNROOM, & KITCHEN WINDOWS	
	REVISED BALUSTRADE, ADDED LIGHTING	
NUMBER	DATE	
1	3/21/13	
SCALE		
AS NOTED		
DATE		
2/26/13		
DRAWN BY		
FRD		
DONATO'S DRAFTING SERVICE		
Frank Donato 225 Waterford Vermont, 05819 (802) 274-1607 fdonato06@hotmail.com		
JOB DESCRIPTION		
LEVISON RESIDENCE		
BURLINGTON VERMONT		
SHEET DESCRIPTION		
PROPOSED ELEVATIONS		
SHEET NUMBER		
A2.1		

Previous approval



SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE				
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3	3	EXTERIOR-WOOD WITH HALF GLASS	3'-0" x 6'-8"	ENTRY LOCKSET
4	2	EXTERIOR-INSULATED FIBERGLASS WITH HALF GLASS	3'-0" x 6'-8"	ENTRY LOCKSET
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3. ALL WINDOWS TO HAVE ALUMINUM CLAD EXTERIOR.				
4. WINDOWS TO HAVE UNFINISHED PINE INTERIOR, PRIME AND PAINT.				
5. ABOVE WINDOWS ARE TO HAVE INSULATED LOW E ARGON FILLED GLASS.				
6. PROVIDE BLACK INSECT SCREEN WITH ALUMINUM FRAME FOR ALL NEW WINDOWS EXCEPT FIXED WINDOWS, COLOR TO BE DETERMINED.				



EAST ELEVATION
1/4" = 1'-0"

Submitted via email
RECEIVED
MAR 25 2013

DEPARTMENT OF
PLANNING & ZONING

NOTE

ANY MODIFICATIONS OR DEVIATIONS FROM THESE PLANS
REQUIRE ZONING APPROVAL PRIOR TO CONSTRUCTION.
ALL ERRORS IN DIMENSIONS, PLANS OR DETAILING ARE
FULLY THE RESPONSIBILITY OF THE APPLICANT/OWNER.

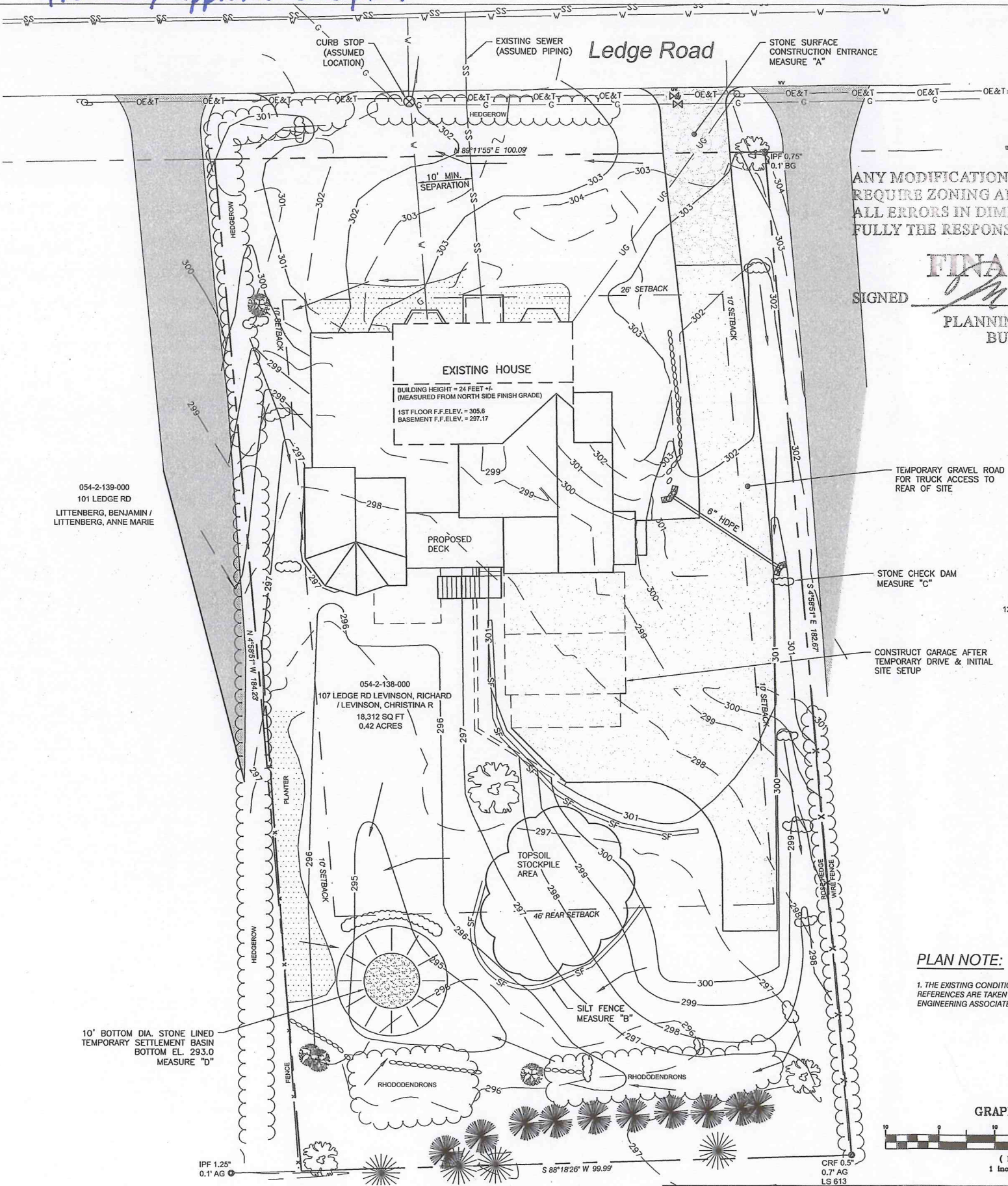
FINAL APPROVAL
SIGNED *[Signature]* DATE 4/15/13
PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

2P13-0768CA

see conditions

REVISION	DATE	NUMBER	DESCRIPTION
1	3/21/13	1	REVISED BAY, SUNROOM, & KITCHEN WINDOWS REVISED BALUSTRADE, ADDED LIGHTING
SCALE			
AS NOTED			
DATE			
2/26/13			
DRAWN BY			
FRD			
DONATO'S DRAFTING SERVICE			
Frank Donato 225 Waterford Vermont, 05819 (802) 274-1607 fdonato06@hotmail.com			
JOB DESCRIPTION			
LEVISON RESIDENCE			
BURLINGTON VERMONT			
SHEET DESCRIPTION			
PROPOSED ELEVATIONS			
SHEET NUMBER			
A2.2			

previously approved site plan



NOTE
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REQUIRE ZONING APPROVAL PRIOR TO CONSTRUCTION.
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FINAL APPROVAL
SIGNED *[Signature]* DATE *4/15/13*
PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

2P13-0708CA
see conditions

LEGEND

- SUBJECT PROPERTY LINE
- MAJOR CONTOUR INTERVAL
- MINOR CONTOUR INTERVAL
- APPROXIMATE SETBACK LINE
- ABUTTOR PROPERTY LINE
- IRON PIN FOUND
- GAS VALVE
- SEWER LINE
- WATER LINE
- NEW UNDERGROUND ELECTRIC
- GAS LINE
- STORM DRAINAGE LINE
- SEWER MANHOLE
- WATER VALVE
- POWER POLE
- DECIDUOUS TREE
- CONIFERUS TREE
- DECIDUOUS SHRUB
- HEDGEROW
- FENCE
- DIRECTION OF FLOW



NOTES

- Utilities shown do not purport to constitute or represent all utilities located upon or adjacent to the surveyed premises. Existing utility locations are approximate only. The Contractor shall field verify all utility conflicts. All discrepancies shall be reported to the Engineer. The Contractor shall contact Dig Safe (888-344-7233) prior to any construction.
- Site information is based upon a field survey performed by Civil Engineering Associates, Inc. November, 2012. Horizontal and vertical datum based on VCS NAD 83 and NAVD 88, respectively, based upon GPS observations performed on site during the time of survey.
- This plan is not a boundary survey and is not intended to be used as one.
- Property line information was abstracted from the City of Burlington Land Records and is based on pertinent deeds and plans of record. Monumentation recovered was consistent with the recorded documents.

PLAN REFERENCES

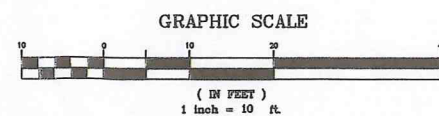
- "Lot Line Adjustment Between 77 Ledge Road & 125 Ledge Road, City of Burlington, Vermont", prepared by Grenier Engineering, P.C., dated February 2011.
- "Relocation of Ledge Road, Burlington, Vermont", prepared by H.M. McIntosh C.E., City Engineer, dated April 14, 1914.

CONSTRUCTION SEQUENCE & EROSION CONTROL NOTES:

- REMOVE EXISTING SALVAGEABLE PLANTINGS AS DIRECTED ON PLANS.
- CONSTRUCT TEMPORARY SETTLEMENT BASIN & SOUTHWEST CORNER OF SITE AS SHOWN.
- CUT AND REMOVE LARGE TREES & STUMPS NOT DESIGNATED FOR MAINTAINING AS SHOWN.
- INSTALL STONE CHECK DAMS ADJACENT TO EASTERLY PROPERTY LINE AS SHOWN. APPROXIMATELY 1 CHECK DAM FOR EACH FOOT OF DROP CONSTRUCT PERIMETER STONE CHECK DAM ON NORTHERLY PERIMETER OF TEMPORARY SETTLING BASIN AS SHOWN.
- REMOVE EXISTING PAVEMENT & EXISTING GARAGE FROM SITE.
- ROTOILL & REMOVE EXISTING TOPSOIL IN FUTURE PAVED AREAS, TEMPORARY PARKING, AND NEW BUILDING EXPANSION AREAS ONLY. STOCKPILE TOPSOIL AS SHOWN. CONSTRUCT SILT FENCE ALONG DOWNHILL PERIMETER OF STOCKPILE. SEED & MULCH TOPSOIL PILE.
*ALTERNATE: CONTRACTOR MAY ELECT TO REMOVE TOPSOIL FROM SITE TO BE STORED AT A STABILIZED LOCATION.
- INSTALL NEW H2O OR SEWER SERVICE LINE TO PROVIDE 10' SEPARATION AS REQUIRED BY STATE REGULATIONS & PERMIT. CONTRACTOR TO CONTACT DIG SAFE & BURLINGTON PUBLIC WORKS IN ACCORDANCE WITH LOCAL & STATE REQUIREMENTS PRIOR TO COMMENCING WITH ANY EXCAVATION.
- CONSTRUCT 3" THICK (1 1/2" STONE) STONE SURFACED CONSTRUCTION ENTRANCE AS SHOWN.
- CONSTRUCT TEMPORARY GRAVEL SURFACE TRUCK AND EQUIPMENT ACCESS DRIVE TO REAR OF HOUSE.
- COMMENCE FOUNDATION EXCAVATIONS, IF EXCAVATED MATERIAL IS SUITABLE AND APPROVED BY THE ENGINEER, IT MAY BE USED AS SUB-BASE FILL IN NEW DRIVE PARKING AREAS LOCATED SOUTHERLY OF EXISTING HOUSE. REMOVE UNSUITABLE MATERIAL FROM SITE.
- BACKFILL & COMPACT.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE VERMONT DEC LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL (2006).

PLAN NOTE:

- THE EXISTING CONDITIONS SITE PLAN, NOTES, & REFERENCES ARE TAKEN FROM A PLAN PREPARED BY CIVIL ENGINEERING ASSOCIATES, INC. DATED OCTOBER 2012.



PLAN
OVERALL SITE
SCALE: 1" = 10 FT.

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	REVISED FRONT & REAR PARKING, GRADING, & RETAINING WALL	3/18/13	FRD
2	ADDED TEMPORARY GRAVEL NEAR EAST PORCH	3/27/13	FRD



David A. Lawes
Engineering, Inc.
P.O. BOX 539 — Barton, Vermont

PREPARED FOR:
RICHARD & TINA LEVINSON
PROPOSED BUILDING ADDITION & DRIVEWAY
EROSION CONTROL SITE PLAN
107 LEDGE ROAD BURLINGTON, VERMONT

Date: 2-18-13	DRWG. NO.
Scale: As Shown	EC1
Drawn By: F.D.	
Checked By: D.A.L.	

STATE OF VERMONT Division for Historic Preservation Montpelier, VT 05602 HISTORIC SITES & STRUCTURES SURVEY Individual Structure Survey Form		SURVEY NUMBER: 4 Part of: <input type="checkbox"/> District _____ <input type="checkbox"/> Complex _____ Contributing <input type="checkbox"/> Non-Contributing <input type="checkbox"/> Listed on: State Register of Historic Places National Register of Historic Places	
COUNTY: Chittenden		CRITERIA: A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	
TOWN: Burlington VILLAGE:		NEGATIVE FILE NUMBER:	
LOCATION: 107 Ledge Road		COORDINATES: UTM (ZONE 18) E 0 N 0 VSP (NAD 83) E 443996.40774 N 218247.34306 E911 N	
PROPERTY TYPE: House		PRESENT FORMAL NAME:	
OWNER: Robert H. Bensen ADDRESS:		COMMON NAME: 107 Ledge Road	
ACCESSIBILITY TO PUBLIC: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Restricted <input type="checkbox"/>		ORIGINAL FORMAL NAME:	
HISTORIC CONTEXT: Automobile Suburbs; Physical Patterns of Communities;		PRESENT USE: House	
SIGNIFICANCE: Architectural <input checked="" type="checkbox"/> Historic <input type="checkbox"/> Archeological <input type="checkbox"/> Engineering <input type="checkbox"/>		ORIGINAL USE: House	
LEVEL OF SIGNIFICANCE: Local <input checked="" type="checkbox"/> State <input type="checkbox"/> National <input type="checkbox"/>		ARCHITECT/ENGINEER:	
PHYSICAL CONDITION OF STRUCTURE: Excellent <input type="checkbox"/> Good <input checked="" type="checkbox"/> Fair <input type="checkbox"/> Poor <input type="checkbox"/>		BUILDER/CONTRACTOR:	
		STYLE: Colonial Revival;	
		PLAN: Not Assessed/Don't Know	
		DATE BUILT: ca. 1921	

GENERAL DESCRIPTION:

1. Foundation: Stone ☐ Brick ☐ Concrete ☒ Concrete Block ☐
2. Wall Structure:
 - a. Wood Frame: Post & Beam ☐ Balloon ☒
 - b. Load Bearing Masonry: Brick ☐ Stone ☐ Concrete ☐ Concrete Block ☐ Bonding Pattern:
 - c. Iron ☐ Steel ☐ e. Other:
3. Wall Covering: Clapboard ☐ Board & Batten ☐ Wood Shingle ☐ Shiplap ☐
 Novelty ☐ Asbestos Shingle ☐ Sheet Metal ☐ Aluminum & Asphal Siding ☒
 Brick Veneer ☐ Stone Veneer ☐ Bonding Pattern: Other:
4. Roof Structure:
 - a. Truss: Wood ☒ Iron ☐ Steel ☐ Concrete ☐ b. Other:
5. Roof Covering Slate ☒ Wood Shingle ☐ Asphalt Shingle ☐ Sheet Metal ☐ Built Up ☐
 Rolled ☐ Tile ☐ Other:
6. Engineering Structure:
7. Other:
8. Appendages: Porches ☒ Towers ☐ Cupolas ☐ Dormers ☐ Chimneys ☒ Shed ☐
 Ells ☐ Wings ☒ Bay Window ☒ Other:
9. Roof Styles: Gable ☒ Hip ☐ Shed ☐ Flat ☐ Mansard ☐ Gambrel ☐ Jerkinhead ☐
 Saw Tooth ☐ With Monitor ☐ With Bellcast ☐ With Parapet ☐ With False Front ☐
 Other:

Number of Stories: 2	Entrance Location: eave center
Number of Bays: 3 x 2	Approximate Dimensions: 20x12

ADDITIONAL ARCHITECTURAL OR STRUCTURAL DESCRIPTION:

Additional Features:

entry pediment; entry pilasters; bay window; balcony

Additional Description:

107 Ledge Road is a two-story, eaves front Colonial Revival structure, with eight-over-eight, double-hung sash windows and cornice returns. A bay window and a large, multi-glazed picture window flank the centrally located entrance, which features flat pilasters supporting an entablature and full pediment. Two, small, one-story wings extend off each gable end, each topped with a balcony.

RELATED STRUCTURES:

One-bay Garage;

STATEMENT OF SIGNIFICANCE:

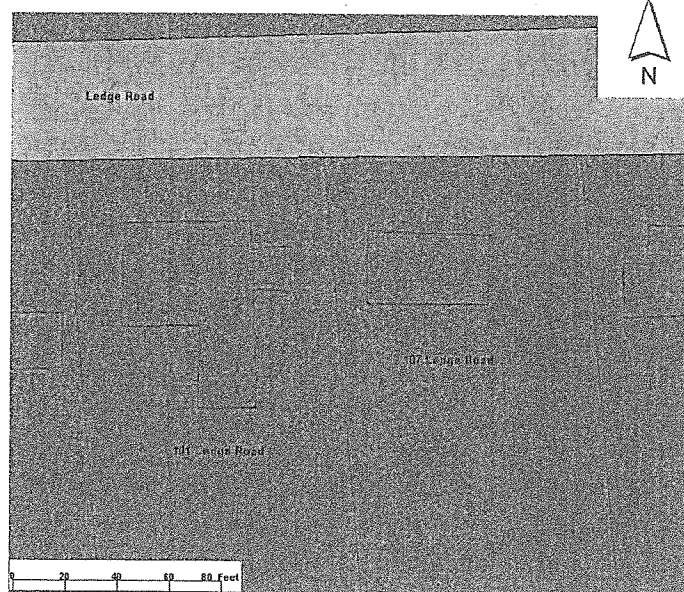
James H. Jacobs is the first known resident of 107 Ledge Road. Jacobs only resided at this location until around 1926, at which time Joseph McNamara purchased the property.

107 Ledge Road is a much altered Colonial Revival house in the Georgian style. Constructed in the 1920s, at which time the Colonial Revival Georgian subtype was popular, this house has most likely lost some of its defining qualities. Vinyl siding likely replaced the original clapboards and the picture window and bay window have probably replaced symmetrically located eight-over-eight windows matching those of the second story. The entry porch, which probably once closely matched those of 89 and 101 Ledge Road, has been enclosed, partially concealing the paired columns, entablature, and flat pilasters. The modest detail and massing of the structure, which are defining features of 1920s Colonial Revival structures, is still visible, and the Georgian symmetry and Classical porch details, although obscured, are still discernable.

REFERENCES:

Burlington Annual Reports; Burlington Street Cards, Courtesy of the University of Vermont Library Research Annex; Mannings Burlington City Directories; "Prospect Park", File Folder, Courtesy of the University of Vermont Special Collections; Sanborn Fire Insurance Maps

MAP: (Indicate North in Circle)



SURROUNDING ENVIRONMENT:

- | | |
|--|---|
| Open <input type="checkbox"/> | Woodland <input type="checkbox"/> |
| Scattered Buildings <input type="checkbox"/> | Moderately Built Up <input checked="" type="checkbox"/> |
| Densely Built Up <input type="checkbox"/> | |
| Residential <input checked="" type="checkbox"/> | Commercial <input type="checkbox"/> |
| Agricultural <input type="checkbox"/> | Industrial <input type="checkbox"/> |
| Roadside Strip Development <input type="checkbox"/> | |
| Designed Landscape Features <input type="checkbox"/> | |
| Other: | |

RECORDED BY:

Elizabeth Mary Andre

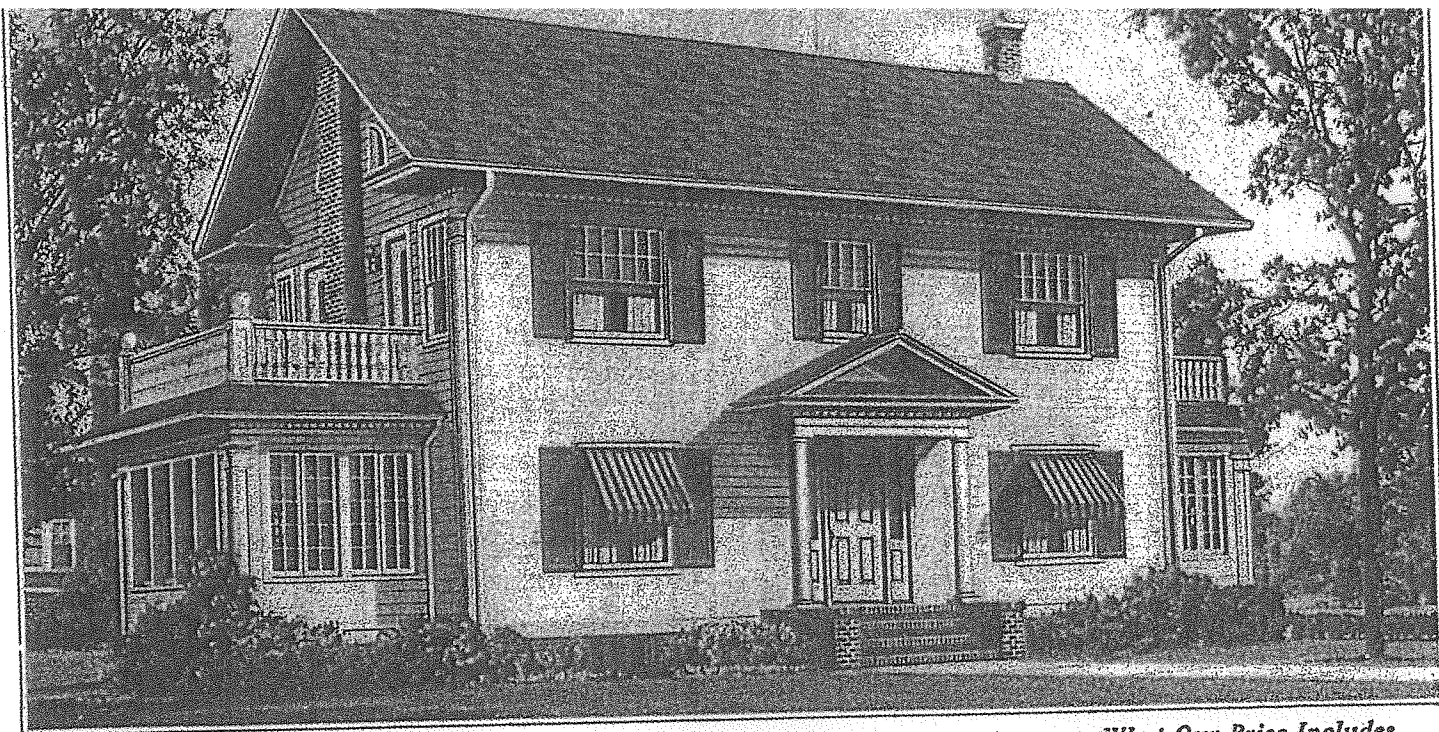
ORGANIZATION:

Burlington Planning and Zoning

DATE RECORDED:

12/01/2005

LAST UPDATED:



WHERE can you find a more imposing and dignified study in modern colonial architecture?

The wide expanse of pure white, contrasted with green shutters, the red brick chimneys and the green roof, surely will appeal even to the most esthetic. Observe the stately pilasters at the corners; the dentals beneath the eaves and in the gables; the balance of design afforded by the sun parlor at the left and the dining porch on the right. Observe the stately colonial porch, in harmony with the rest.

FIRST FLOOR

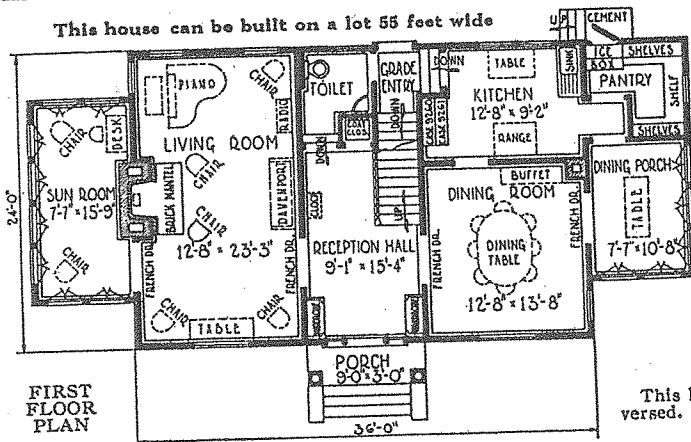
The Reception Hall. On entering, you pass through the colonial entrance, a quaint colonial door with side lights on either side, giving light and cheer to a reception hall nearly 10 feet wide, that connects through French doors to the living room on the left and the dining room on the right. Here, too, is a beautiful colonial stairway, a clothes closet and a door leading to the first floor lavatory. Both openings have mirror doors, which appear to add length to the hall. There is room for a grandfather clock. On each side of the entrance wardrobes are provided.

The Living Room. From the reception hall you pass through the French doors on the left and enter the large living room, nearly 13 feet by 23 feet 3 inches, which has a real colonial fireplace.

The Sun Room. Directly adjoining the living room is a large sun room with French windows on three sides.

The Dining Room and Dining Porch. Retracing back through the hall, and to the right, you enter the dining room and, directly to the right, you enter a dining porch which has French windows on two sides.

This house can be built on a lot 55 feet wide



FIRST FLOOR PLAN

Honor Bill

The Lexington
No. P13045 "Already Cut" and Fitted
\$4,365⁰⁰

The Kitchen. A door from the dining room leads to the kitchen and a passage is provided that connects the dining porch with the kitchen and a large pantry which has ample shelving and space for refrigerator that is iced from the outside. The double windows supply an abundance of light and fresh air. The kitchen cabinet is furnished with bread board, dough board, flour bins and work table. The arrangement keeps the iceman and the milkman from intruding, to say nothing of tracking the floors. A convenient grade entrance leads outside and also to the basement.

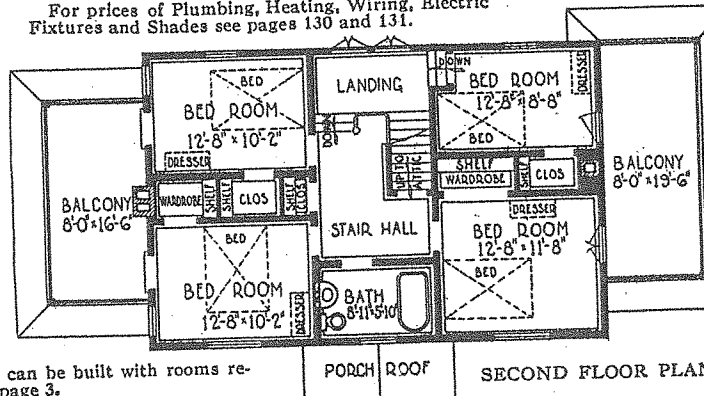
SECOND FLOOR

The Bedrooms. Here are three fair size bedrooms and maid's room with good size closets with shelves in each room. A linen closet is located in the second floor hall and there is a stairway leading to a large attic. A bathroom is at the end of hall, convenient to all bedrooms. Two French windows are located on second floor landing, giving plenty of light to the stairway and second floor hall. Doors lead from bedrooms to balcony over sun room.

Basement. Room for furnace, laundry and storage.

Height of Ceilings. Basement is 7 feet from floor to joists. Main floor rooms are 9 feet from floor to ceiling. Second floor rooms are 8 feet 2 inches from floor to ceiling.

For prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.



This house can be built with rooms reversed. See page 3.

What Our Price Includes

At the price quoted we will furnish all the material to build this nine-room colonial house, consisting of:
Lumber; Lath;
Oriental Asphalt Shingles, 17-Year Guarantee;
Siding, Clear Cypress;
Framing Lumber; No. 1 Douglas Fir or Pacific Coast Hemlock;
Flooring, First Floor, Clear Maple; Second Floor, Balcony Floor, Clear Maple; Balance of Rooms and Halls, Clear Douglas Fir or Pacific Coast Hemlock;
Porch Ceiling, Clear Grade Douglas Fir or Pacific Coast Hemlock;
Finishing Lumber;
High Grade Millwork (see pages 110 and 111);
Interior Doors, Birch for Dining Room, Living Room and Hall; All Other Doors Two Cross Panel Design;
Douglas Fir;
Trim, Birch for Living Room, Dining Room, Hall and Stairs; Balance of Rooms, Beautiful Grain Douglas Fir or Yellow Pine;
Kitchen Cabinet; Medicine Case;
Colonial Brick Mantel;
Windows of California Clear White Pine;
Building Paper; Sash Weights;
40-Pound Building Paper;
Chicago Design Hardware (see page 132);
Paint for Three Coats Outside;
White Enamel and Mahogany Stain for Trim and Doors of the Living Room, Dining Room, Hall and Stairs on First Floor;
Shellac and Varnish for All Interior Trim and Do except in Living Room, Dining Room and Hall First Floor;
Shellac and Varnish for Maple Floor.
Complete Plans and Specifications.
Built on a concrete and brick foundation and excavated under entire house.
We guarantee enough material to build this house. Price does not include cement, brick or plaster.
See descriptions of "Honor Bill" Houses on pages 12 and 13.

OPTIONS

Sheet Plaster and Plaster Finish, to take the place of lath, \$311.00 extra. See page 109.
Tile Floor in bathroom and toilet, instead of maple, \$2 extra.
Storm Doors and Windows, \$173.00 extra.
Screen Doors and Windows, galvanized wire, \$98.00 extra.

For Our Easy Payment Plan See Page 144

The SUN ROOM The Year Around Porch

What Our Prices Include

At the prices quoted we will furnish all the material to build these sun room porches, consisting of:

Finishing Lumber, No. 1 Douglas Fir or Pacific Coast Hemlock;

Ready-Cut Lath;

Painting, Clear Cypress or Clear Red Cedar, level, for No. P3213; Clear Cypress Drop Siding for No. P3214;

Staining, Douglas Fir or Pacific Coast Hemlock;

Staining, Clear Douglas Fir or Pacific Coast Hemlock;

Finishing Lumber;

Painting, Beautiful Grain Douglas Fir or Yellow Pine;

Windows, Seven Pairs Modern French Windows; Sash to Open In Made of Clear California White Pine;

Lb. Building Paper; Eaves Trough and Down Spout;

Stratford Design Hardware for French Windows, Consisting of Hinges, Bolts and Fasteners. Furnished in either lemon brass or old copper finish. See page 132. Sufficient nails of all sizes required.

Paint for Three Coats Outside;

Shellac and Varnish for Inside Trim;

Sun Room No. P3214, Roofed With Best-of-All Roofing, Guaranteed for 16 years. We furnish enough material to lay the roofing with a 16-inch lap and also roof lap cement. This makes an absolutely tight roof;

Sun Room No. P3213, We Furnish Oriental Slate Surface Shingles, Guaranteed for 17 Years;

Size of Sun Room Porch, 10 feet by 12 feet;

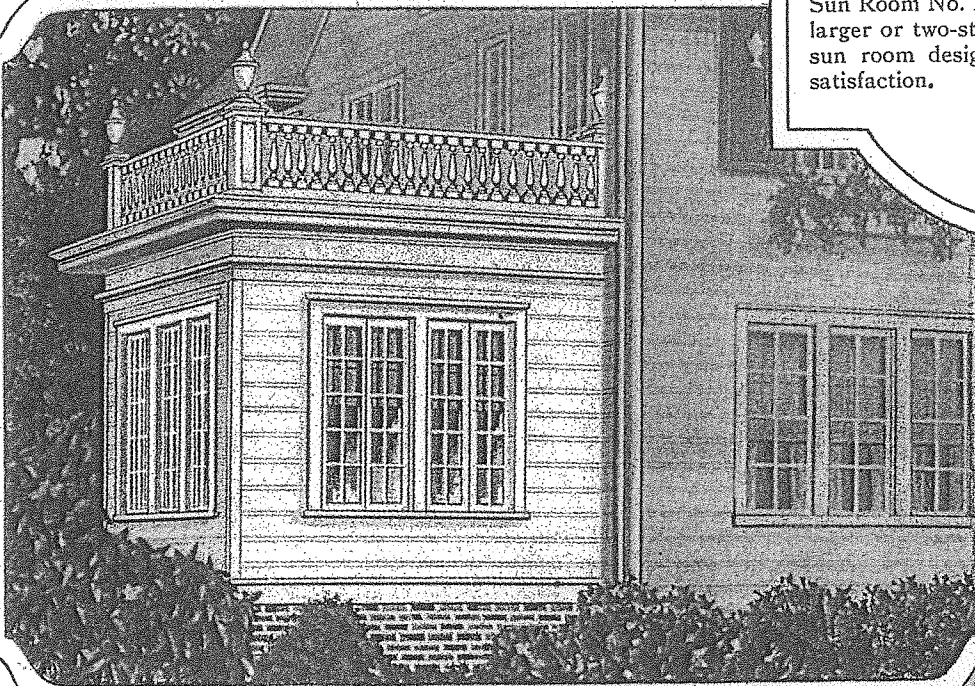
Height from Floor to Ceiling, 9 feet;

Foundation, Concrete to Grade Line; Brick Wall Above.

THE modern sun room is a beautiful and useful addition to the home. Here dull days are spent pleasantly, a book may be read in solid comfort amidst flowers. Or to sit and listen to the radio music, entertain friends with assurance of a cheerful atmosphere. Others prefer it as a play room for their children. During the warm season, the sun room is the coolest spot in the house; during the winter it is warm and comfortable.

Illustrated are two popular sun room additions. These sun room porches are planned so that they can be added to a house already built at the lowest cost. Our price includes all the material for both inside and outside construction. The cost of a sun room is very little compared to the actual increased value of your home.

The Sun Room No. P3213 is the more suitable for one story or smaller homes. The Sun Room No. P3214 is more suitable for the larger or two-story residences. Select either sun room design and you may be sure of satisfaction.



Sun Room Porch No. P3214

\$329⁰⁰

For detailed description see upper left hand corner of this page.

Sun Room Porch No. P3213

\$279⁰⁰

For detailed description see upper left hand corner of this page.

OPTIONS

Sheet Plaster and Plaster Finish, take the place of wood, lath and plaster, \$14.00 extra. See page 109.

Storm Windows, \$36.00 extra.

Screen Windows, galvanized wire, \$15.00 extra.

NOTE—Our prices do not include jamb, door, door trim or hardware for door between sun room and house to which it is attached. These items should correspond in design and size with doors adjoining room. Write for our Millwork Catalog E543MH for details.

